



CULTURAL RESOURCES OFFICE
PRESERVATION BOARD
REGULAR MEETING
MONDAY, DECEMBER 18, 2023 — 4:00 P.M.
1520 MARKET ST, SUITE 2000, ST. LOUIS, MO 63103
www.stlouis-mo.gov/cultural-resources

The Preservation Board meeting will be held both **in person and virtually**. Members of the public may participate via Zoom. However, if you choose to participate virtually, please note that we cannot guarantee the reliability of that system. Therefore, those wishing to be assured the opportunity to speak before the Board may prefer to attend the meeting in person. It will be held in a large room, with masks available, and every effort made to practice social distancing.

The meeting will be virtually accessible through this Zoom link:
<https://stlouis-mo-gov.zoom.us/j/84130102680?pwd=MEs4V2NOT0pUOTg4SjJsckxnNC9tZz09>
 Meeting ID: 841 3010 2680 Passcode: 591345

OLD BUSINESS

Approval of November 20, 2023 Preservation Board minutes.

PRELIMINARY REVIEW:	JURISDICTION:	PROJECT:	PAGE:
A. 4534, 4538, 4540, 4544 4552 & 4556 Manchester	Preservation Review District.....	Demolish six residential structures for construction of a 5-story mixed-use building	1
B. 4333 Connecticut Street	Oak Hill National Register District; Preservation Review District	Demolish single-family home and garage to construct 5-unit apartment building	16

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E. Chouteau's Landing Historic District – Cedar Street / S. 1st Street / Chouteau Avenue / S. 3rd Street	35

A.

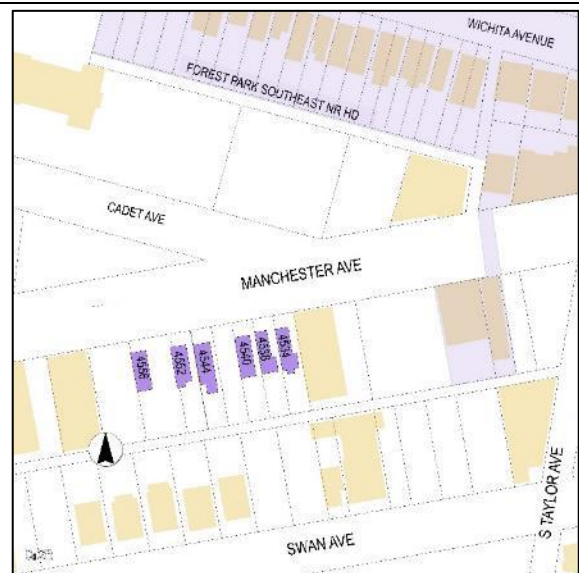
DATE: December 18, 2023
 ADDRESS: 4534, 4538, 4540, 4544, 4552, & 4556 Manchester Avenue
 ITEM: Demolish six residential structures for construction of 5-story mixed-use building
 JURISDICTION: Preservation Review Area
 NEIGHBORHOOD: Forest Park Southeast
 WARD: 9
 OWNER: Groveland LLC
 ARCHITECT: Jeff McGee
 STAFF: Meg Lousteau



4534 – 4556 MANCHESTER AVENUE

RECOMMENDATION:

That the Preservation Board grant Preliminary Approval for the demolition of six buildings and the construction of a 5-story mixed-used building with the condition that the Cultural Resources Office review and approve final design details and exterior materials and colors.



THE PROJECT:

The proposal is to demolish six residential buildings in the Forest Park Southeast neighborhood, but outside the boundaries of the Forest Park Southeast National Register District. The buildings are located within a Preservation Review District, where the Cultural Resources/Preservation Board has jurisdiction over demotions.

4534 and 4538 Manchester are one-story brick Shotgun houses, both built in 1895. 4534 is in the Craftsman style with an unusual false mansard roof with flared eaves. 4538 is a restrained example of the Romanesque Revival style; its front parapet has been reconstructed.

4540 Manchester (1891) is a Romanesque Revival 2-1/2-story, two-family with elegant terra cotta details and a decorative slate Mansard roof. 4544 Manchester (1908) is a 2-story Romanesque Revival two-family with terra cotta cornice; 4552 Manchester, another 1-story house in the Craftsman style, was built in 1888 and has glazed brick ornament; and 4556 Manchester, also of 1888, is a 2-story, two-family building—again in the Craftsman style—with an intricate brick cornice. All the buildings are considered “Merit” under Ordinance #64689 as they would be contributing resources to a potential expansion of the Forest Park Southeast National Register District.

4540 Manchester has sustained a partial collapse of the rear façade, as has 4544 to a lesser degree; and 4556 has lost a part of the upper portion of its rear wall above a 1-story addition. It has also lost some face brick at the eastern parapet.

In 2021, the applicant filed for a Preliminary Review to demolish the buildings. That application did not include plans for subsequent new construction. Cultural Resources staff denied the application. The applicant chose not to appeal to the Preservation Board.

In December of 2022, a variation of this proposal came to the Preservation Board as a Preliminary Review for demolition and construction of a 4-story mixed-use building with 71 residential units, 2 – 4 retail spaces, and 40 parking spaces. That proposal also included two vacant lots at 4527-29 and 4531-33 Swan Avenue, which would provide gated surface parking. The staff recommendation was for Preliminary Approval, which the Board granted with the stipulations that the Cultural Resources Office review and approve final materials and colors and that the demolition permit be contingent on a building permit.

The applicant is now proposing adding a 5th story, with 37 units for a total of 108 units. Under the Preliminary Review Policy, “Alterations to a design approved by the Preservation Board may require the altered design to return to the Preservation Board for approval. The Cultural Resources Office shall not approve a proposal that has received approval by the Board following a Preliminary Review and has been subsequently altered to the extent that it does not meet the applicable standards and/or is significantly different from the proposal as approved by the Board at the Preliminary Design Review.” Staff has determined that the addition of a fifth floor constitutes a significant difference from the original proposal, and as such, is bringing the project to the Preservation Board.

RELEVANT LEGISLATION — PROPOSED DEMOLITION:

St. Louis City Ordinance #64689

PART X - DEMOLITION REVIEWS

SECTION FIFTY-EIGHT. Whenever an application is made for a permit to demolish a Structure...which is within a Preservation Review District...the building commissioner shall submit a copy of such application to the Cultural Resources Office within three days after said application is received by his Office.

St. Louis City Ordinance #64832

SECTION FIVE. Demolition permit - Board decision.

All demolition permit application reviews pursuant to this chapter shall be made by the Director of the Office who shall either approve or disapprove of all such applications based upon the criteria of this ordinance. All appeals from the decision of the Director shall be made to the Preservation Board. Decisions of the Board or Office shall be in writing, shall be mailed to the applicant immediately upon completion and shall indicate the application by the Board or Office of the following criteria, which are listed in order of importance, as the basis for the decision:

- A. Redevelopment Plans. Demolitions which would comply with a redevelopment plan previously approved by ordinance or adopted by the Planning and Urban Design Commission shall be approved except in unusual circumstances which shall be expressly noted.

Not applicable.

- B. Architectural Quality. Structure's architectural merit, uniqueness, and/or historic value shall be evaluated and the structure classified as high merit, merit, qualifying, or noncontributing based upon: Overall style, era, building type, materials, ornamentation, craftsmanship, site planning, and whether it is the work of a significant architect, engineer, or craftsman; and contribution to the streetscape and neighborhood. Demolition of sound high merit structures shall not be approved by the Office. Demolition of merit or qualifying structures shall not be approved except in unusual circumstances which shall be expressly noted.

All six buildings are considered “Merit” structures under the Ordinance, which defines a “Merit” building as “contributing to an existing or potential City or national historic district.” In scale, architectural style, detailing and dates of construction, the buildings are similar to other residential buildings within the National Register District and are sited adjacent to its western boundary.

- C. Condition. The Office shall make exterior inspections to determine whether a structure is sound. If a structure or portion thereof proposed to be demolished is obviously not sound, the application for demolition shall be approved except in unusual circumstances which shall be expressly noted. The remaining or salvageable portion(s) of the structure shall be evaluated to determine the extent of reconstruction, rehabilitation or restoration required to obtain a viable structure.
 - 1. Sound structures with apparent potential for adaptive reuse, reuse and or resale shall generally not be approved for demolition unless application of criteria in subsections A, D, F and G, indicates demolition is appropriate. “Sound means that visible portions of

exterior walls and roofs appear capable of continuing to support their current loads for six months or more.”

No structural report on the buildings’ conditions has been submitted by the property owner. At 4540, 4544 and 4556, portions of the rear walls have failed. 4556 Manchester has also had a small loss of face brick at the eastern parapet. Masonry failures are due to lack of maintenance and do not appear to be severe enough to compromise the structural integrity of the buildings. Therefore, the buildings are all considered “Sound” under Ordinance #64689.

2. Structurally attached or groups of buildings.

Not applicable.

D. Neighborhood Effect and Reuse Potential.

1. Neighborhood Potential: Vacant and vandalized buildings on the block face, the present condition of surrounding buildings, and the current level of repair and maintenance of neighboring buildings shall be considered.

The site is located in area with a strong real estate market.

2. Reuse Potential: The potential of the structure for renovation and reuse, based on similar cases within the City, and the cost and extent of possible renovation shall be evaluated. Structures located within currently well-maintained blocks or blocks undergoing upgrading renovation will generally not be approved for demolition.

No information has been submitted to counter the viability of the buildings for reuse. Should the buildings be included in the Forest Park Southeast National Register District, historic preservation tax credits would be available to assist in their rehabilitation.

3. Economic Hardship: The Office shall consider the economic hardship which may be experienced by the present owner if the application is denied. Such consideration may include, among other things, the estimated cost of demolition, the estimated cost of rehabilitation or reuse, the feasibility of public or private financing, the effect of tax abatement, if applicable, and the potential for economic growth and development in the area.

No evidence of economic hardship has been submitted.

E. Urban Design. The Office shall evaluate the following urban design factors:

1. The effect of a proposed partial demolition on attached or row buildings.

Not applicable.

2. The integrity of the existing block face and whether the proposed demolition will significantly impact the continuity and rhythm of structures within the block.

While there have been two or three previous losses on this block, the existing buildings continue the street wall and are consistent in scale with adjacent buildings. Loss of these six structures would disrupt the continuity of the block face.

3. Proposed demolition of buildings with unique or significant character important to a district, street, block or intersection will be evaluated for impact on the present integrity, rhythm, balance and density on the site, block, intersection or district.

The buildings are sited at the major western entrance to The Grove business district and the Forest Park Southeast neighborhood and National Register District.

4. The elimination of uses will be considered; however, the fact that a present and original or historic use of a site does not conform to present zoning or land use requirements in no way shall require that such a nonconforming use to be eliminated.

Not applicable.

- F. Proposed Subsequent Construction. Notwithstanding the provisions of any ordinance to the contrary, the Office shall evaluate proposed subsequent construction on the site of proposed demolition... based upon whether:

1. The applicant has demonstrated site control by ownership or an option contract;

Complies.

2. The proposed construction would equal or exceed the contribution of the structure to the integrity of the existing streetscape and block face....

Complies. The proposal is to construct a 5-story, 108-unit mixed-use building with interior and surface parking on an alley-adjacent parcels. It would continue the pattern recently begun in the Grove of large multistory apartment buildings along Manchester Avenue, and be similar in scale, siting and exterior materials.

However, the architects have worked with the Cultural Resources staff to refine the original submission and create a cohesive exterior design, unified color palette, pedestrian-scaled first floor and clearly-defined building entry.

The first story of the primary façade would be a series of glazed storefronts with a centered main entry marked by a distinctive surround and projecting canopy. Parking would be accessed from the rear alley and its location would not be perceptible in the design of the front elevation. And while the building would be large in scale, that perception would be reduced by projecting corner bays flanking a one-story section carrying a pool and roof garden. Elements have been derived from historic precedents in a contemporary translation: while the fenestration is current in form, it repeats the vertical orientation of historic windows; modern storefronts have historic tripartite divisions but with glazed bulkheads; and the towers terminate in cornices that are over-scaled, and streamlined.

3. The proposed construction will be architecturally compatible with the existing block face as to building setbacks, scale, articulation and rhythm, overall architectural character and general use of exterior materials or colors;

The 4500 block of Manchester comprises a mix of small scale residential, commercial and warehouse buildings. It is less intact than many blocks in the Forest Park Southeast neighborhood and has not been included within the boundaries of the Forest Park Southeast National Register District. There has been substantial demolition: buildings on the north side of the block have been demolished, with the exception of three historic buildings at the northwest corner of Manchester and Taylor (within the District) and a remodeled one-story store (1925) at 4513.

There have also been substantial losses on the south side; aside from the six proposed demolitions, there remain east of the project site only 4510 Manchester (1907) and 4512 Manchester (1925)—both contributing resources to the Forest Park Southeast NR District—and 4560 Manchester, a 1-story brick warehouse (1946). To the west is 4568 Manchester (1930), a warehouse remodeled into offices; another 1930 commercial building converted to a drive-in auto repair shop; and a Jiffy Lube at Kingshighway, built in 1988.

If the demolitions are approved, there would therefore be little existing block face for the proposed construction to address; however, the design would be compatible in setbacks, scale, articulation, architectural character and exterior materials with the larger apartment buildings being constructed along the south side of Manchester.

The surface parking along Swan would be gated, and sited so that the gate would maintain the building line of the existing residential structures along the rest of the block face.

4. The proposed use complies with current zoning requirements;

Although review of the project under the Form-Based Code has not yet been conducted by the Zoning Department, it appears that the proposed building would require two variances from that code:

- the primary exterior material, Nichiha, is not a permitted material
- the live/work spaces do not meet the requirement for “primary retail use” on the ground floor

Regarding the parking lots on the Swan parcels, these are not subject to review by the Cultural Resources Office/Preservation Board as they are not on parcels where demolition is proposed. The Zoning Department has also not evaluated the proposal to create parking lots that span lot lines.

5. The proposed new construction would commence within twelve (12) months from the application date.

Yes, construction would commence within 12 months.

- G. Commonly Controlled Property. If a demolition application concerns property adjoining occupied property and if common control of both properties is documented, favorable consideration will generally be given to appropriate reuse proposals. Appropriate uses shall include those allowed under the current zoning classification, reuse for expansion of an existing conforming, commercial or industrial use or a use consistent with a presently conforming, adjoining use group. Potential for substantial expansion of an existing adjacent commercial use will be given due consideration.

Not applicable.

- H. Accessory Structures. Accessory structures (garages, sheds, etc.) and ancillary structures will be processed for immediate resolution. Proposed demolition of frame garages or accessory structures internal to commercial or industrial sites will, in most cases, be approved unless

that structure demonstrates high significance under the other criteria listed herein, which shall be expressly noted.

Not applicable.

PRELIMINARY FINDINGS AND CONCLUSION:

The Cultural Resources Office consideration of the criteria for demolition in the Preservation Review District Ordinance led to these preliminary findings:

- 4534, 4538, 4540, 4544, 4552 & 4556 Manchester Avenue are located in a Preservation Review District.
- The buildings are considered to be “Merit” as they are of similar architectural style and date of construction to contributing resources within the district, and are adjacent to its western boundary and therefore may be considered eligible for the National Register.
- The buildings are Sound within the definition of the ordinance, which means that visible portions of exterior walls and roofs appear capable of continuing to support their current loads for six months or more.
- Demolition of the buildings would result in the loss of most of the historic fabric remaining on the block.
- The proposed subsequent development would be a 5-story apartment building with interior parking that, while incompatible in scale, massing and materials with the current buildings on the block, would continue the pattern of large-scale residential infill along Manchester Avenue. The architects have worked with Cultural Resources Office staff to produce a cohesive and unified design that employs various elements to both reduce the perceived scale of the building and render it more compatible with the historic fabric of the neighborhood.

Based on the Preliminary findings, the Cultural Resources Office recommends that the Preservation Board grant Preliminary Approval of the demolition and new construction, with the stipulation that final drawings, exterior materials and colors be reviewed and approved by the Cultural Resources Office.



4534 MANCHESTER



4538 MANCHESTER



4540 MANCHESTER



4544 MANCHESTER



4552 MANCHESTER



4556 MANCHESTER



4534, 4538, AND 4540 MANCHESTER



4544, 4452, AND 4556 MANCHESTER



4544 MANCHESTER (REAR) LOOKING NORTHWEST



4544 MANCHESTER (REAR) LOOKING NORTHEAST



4556 MANCHESTER (REAR)



4556 MANCHESTER (REAR) LOOKING NORTHWEST



4556 MANCHESTER (REAR) LOOKING NORTHEAST



4544 MANCHESTER (REAR)



4544, 4538 AND 4540 MANCHESTER (REAR)



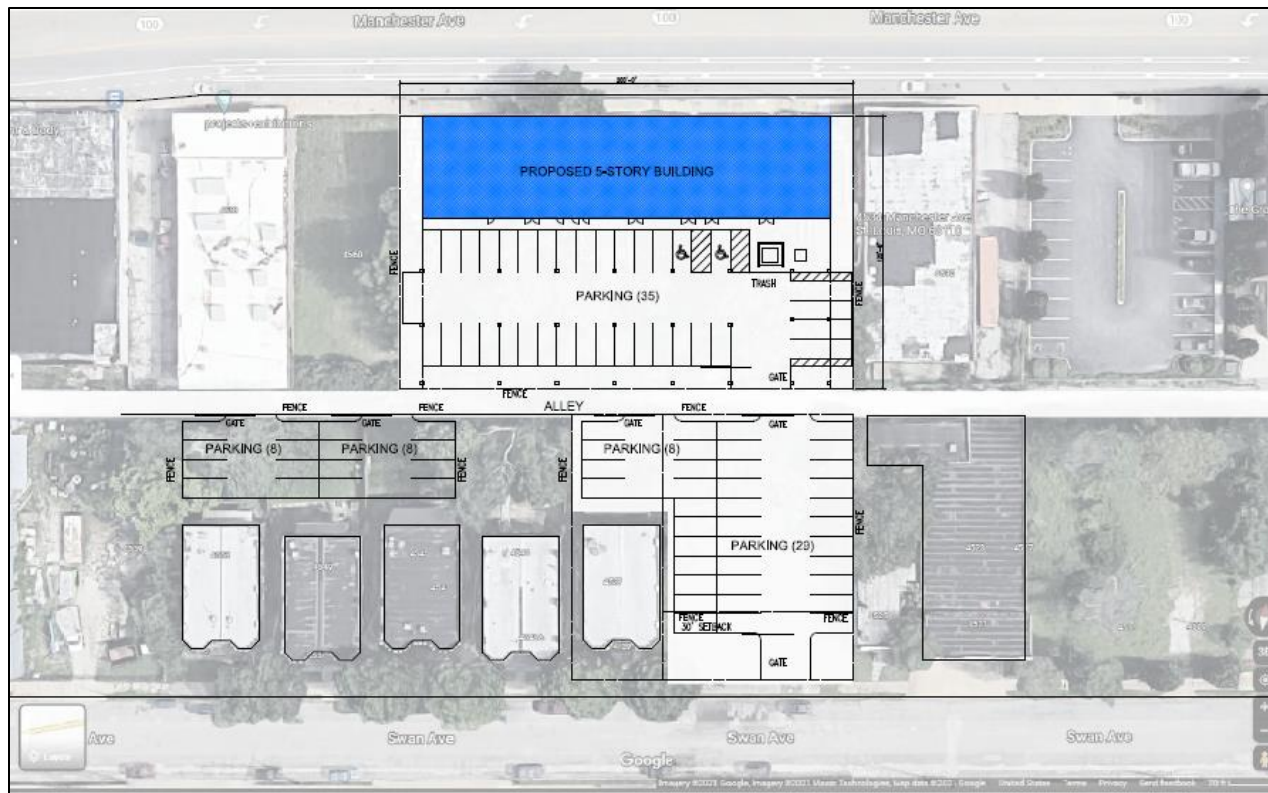
4527-29 AND 4531-33 SWAN AVENUE



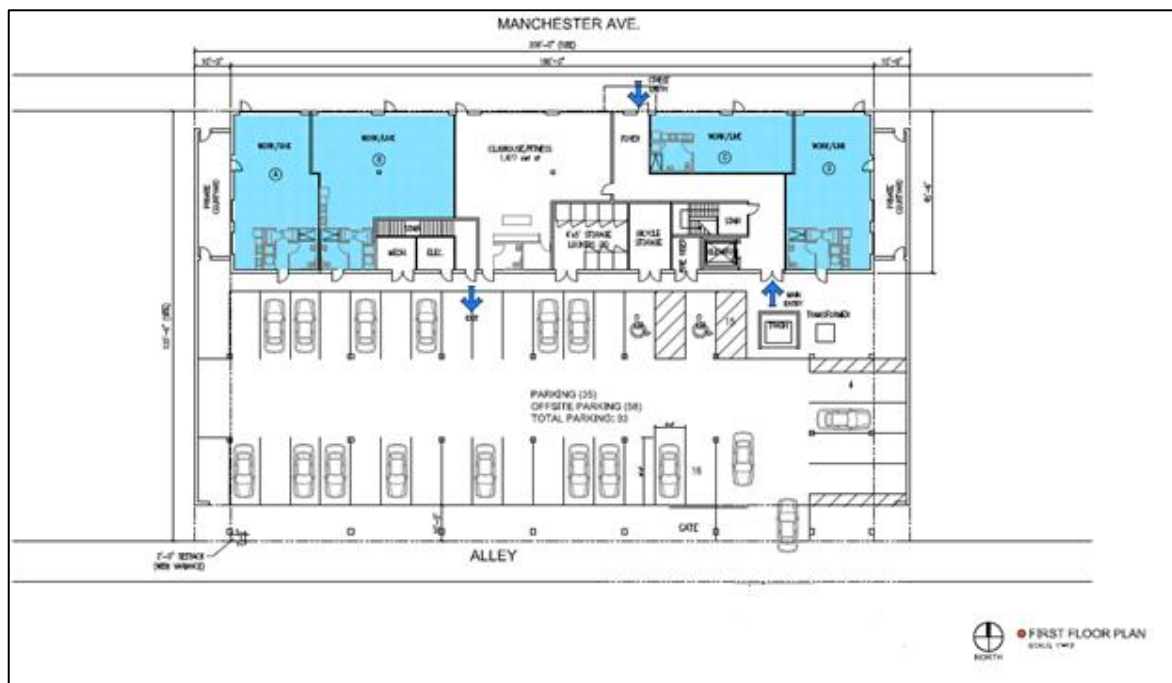
SWAN AVENUE LOOKING WEST



PROPOSED NEW CONSTRUCTION



SITE PLAN



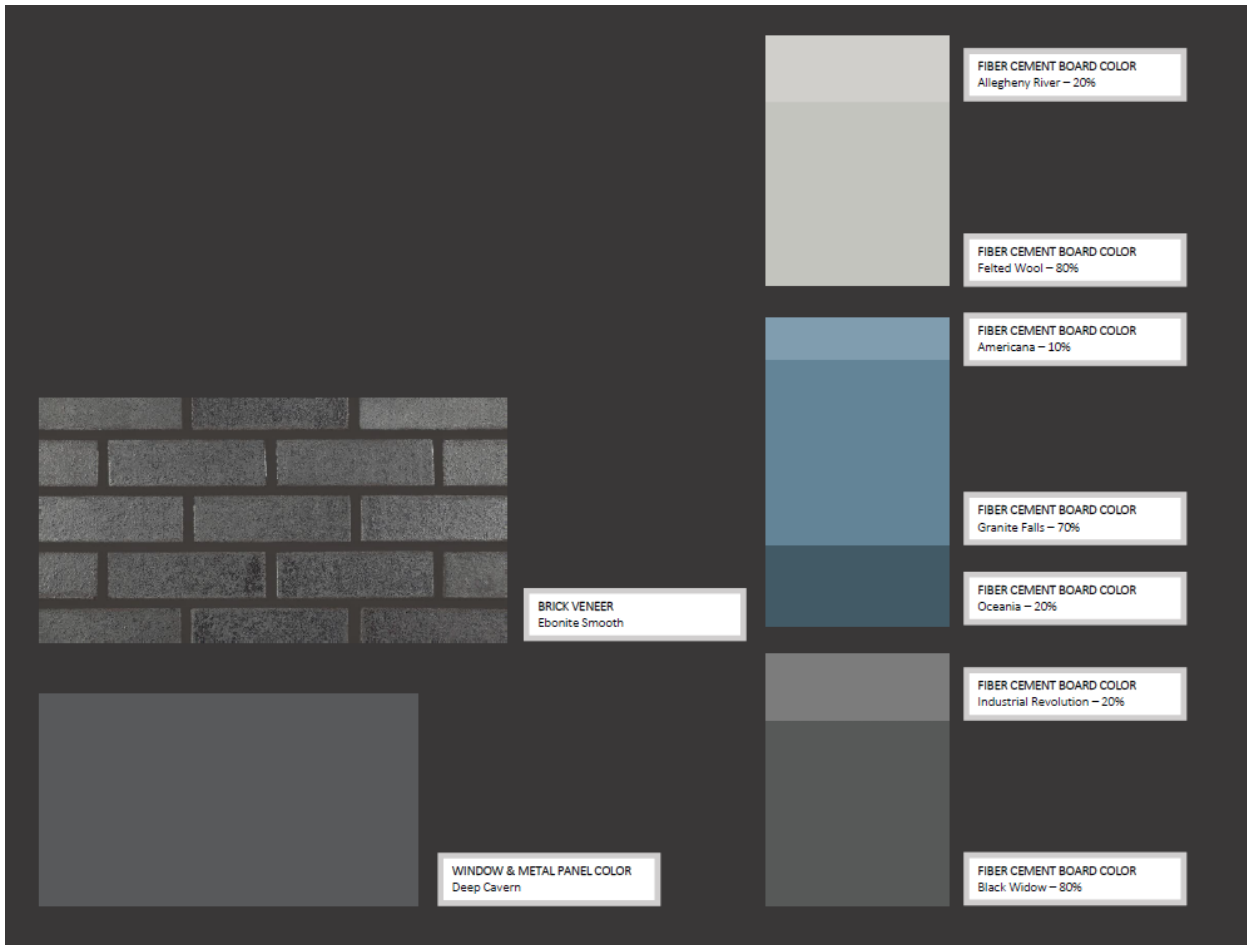
FIRST FLOOR PLAN



EAST, WEST, AND NORTH ELEVATIONS



SOUTH ELEVATION



MATERIALS



VIEW OF PARKING AREA FROM SWAN AVENUE



CONTEXT EAST



CONTEXT EAST



CONTEXT WEST



ODD SIDE OF MANCHESTER, ACROSS THE STREET

B.

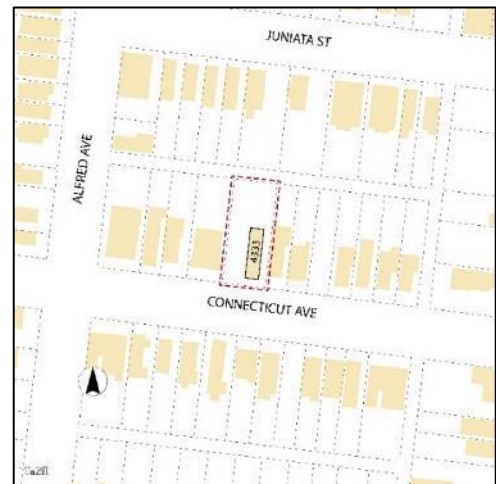
DATE: December 18, 2023
 ADDRESS: 4333 Connecticut Street
 ITEM: Demolish single-family home and garage to construct 5-unit apartment building
 JURISDICTION: Oak Hill National Register Historic District; Preservation Review District
 NEIGHBORHOOD: Tower Grove South
 WARD: 6
 OWNER: Ali Abbas
 ARCHITECT: Anthony Duncan
 STAFF: Meg Lousteau



4333 CONNECTICUT STREET

RECOMMENDATION:

That the Preservation Board grant Preliminary Approval for the demolition of a single-family house and the construction of a 5-unit apartment building with the condition that the Cultural Resources Office review and approve final design details and exterior materials and colors.



THE PROJECT:

The proposal is to demolish a single-family house in the Oak Hill National Register District/Tower Grove South neighborhood. The building is located within a Preservation Review District, where the Cultural Resources/Preservation Board has jurisdiction over demolitions.

Constructed in 1891, 4333 Connecticut Street is a frame vernacular side-hall house, rising 1-1/2-stories to a steeply-pitched front gable roof, and set atop a brick foundation. Its front façade is marked by a full-width porch with hipped roof that shelters the primary entry and a large one-over-one window. In the gable above is centered a square opening that originally contained paired doublehung windows. The house has received a number of other alterations, most prominently the addition of large shed dormers to both roof slopes. The original porch posts have been replaced by wrought-iron; windows and front door have been replaced; and the house has been sheathed in vinyl horizontal siding, which has obscured, but perhaps not destroyed, the original wood clapboard and trim.

The proposed construction would be a 2-story, 3-bay, 5-family building, with a red brick front façade, and a garage facing the alley.

RELEVANT LEGISLATION — PROPOSED DEMOLITION:

St. Louis City Ordinance #64689
PART X - DEMOLITION REVIEWS

SECTION FIFTY-EIGHT. Whenever an application is made for a permit to demolish a Structure...which is within a Preservation Review District...the building commissioner shall submit a copy of such application to the Cultural Resources Office within three days after said application is received by his Office.

St. Louis City Ordinance #64832
SECTION FIVE. Demolition permit - Board decision.

All demolition permit application reviews pursuant to this chapter shall be made by the Director of the Office who shall either approve or disapprove of all such applications based upon the criteria of this ordinance. All appeals from the decision of the Director shall be made to the Preservation Board. Decisions of the Board or Office shall be in writing, shall be mailed to the applicant immediately upon completion and shall indicate the application by the Board or Office of the following criteria, which are listed in order of importance, as the basis for the decision:

- A. Redevelopment Plans. Demolitions which would comply with a redevelopment plan previously approved by ordinance or adopted by the Planning and Urban Design Commission shall be approved except in unusual circumstances which shall be expressly noted.

Not applicable.

- B. Architectural Quality. Structure's architectural merit, uniqueness, and/or historic value shall be evaluated and the structure classified as high merit, merit, qualifying, or noncontributing based upon: Overall style, era, building type, materials, ornamentation, craftsmanship, site planning, and whether it is the work of a significant architect, engineer, or craftsman; and contribution to the streetscape and neighborhood. Demolition of sound high merit structures shall not be

approved by the Office. Demolition of merit or qualifying structures shall not be approved except in unusual circumstances which shall be expressly noted.

The existing house is a contributing building, as it could contribute to a possible local historic district. It is listed in the Oak Hill National Register District nomination as a non-contributing structure.

The house is nearly identical in scale, size, and details to several other 1-½ story houses on the block, likely all constructed around the same time.

- C. Condition. The Office shall make exterior inspections to determine whether a structure is sound. If a structure or portion thereof proposed to be demolished is obviously not sound, the application for demolition shall be approved except in unusual circumstances which shall be expressly noted. The remaining or salvageable portion(s) of the structure shall be evaluated to determine the extent of reconstruction, rehabilitation or restoration required to obtain a viable structure.

1. Sound structures with apparent potential for adaptive reuse, reuse and or resale shall generally not be approved for demolition unless application of criteria in subsections A, D, F and G, indicates demolition is appropriate. "Sound means that visible portions of exterior walls and roofs appear capable of continuing to support their current loads for six months or more."

The building appears sound under definition in Ordinance 64689.

2. Structurally attached or groups of buildings.

Not applicable.

- D. Neighborhood Effect and Reuse Potential.

1. Neighborhood Potential: Vacant and vandalized buildings on the block face, the present condition of surrounding buildings, and the current level of repair and maintenance of neighboring buildings shall be considered.

The site is located in area with a strong real estate market.

2. Reuse Potential: The potential of the structure for renovation and reuse, based on similar cases within the City, and the cost and extent of possible renovation shall be evaluated. Structures located within currently well-maintained blocks or blocks undergoing upgrading renovation will generally not be approved for demolition.

No information has been submitted to counter the viability of the building for reuse.

3. Economic Hardship: The Office shall consider the economic hardship which may be experienced by the present owner if the application is denied. Such consideration may include, among other things, the estimated cost of demolition, the estimated cost of rehabilitation or reuse, the feasibility of public or private financing, the effect of tax abatement, if applicable, and the potential for economic growth and development in the area.

No evidence of economic hardship has been submitted.

- E. Urban Design. The Office shall evaluate the following urban design factors:

1. The effect of a proposed partial demolition on attached or row buildings.

Not applicable.

2. The integrity of the existing block face and whether the proposed demolition will significantly impact the continuity and rhythm of structures within the block.
The block contains a mix of housing styles and types, including wood frame 1-½ story houses, 1-story brick houses, 2-story brick houses, and 2-story multifamily brick apartment buildings. The loss of this 1-½ story wood frame building and its replacement by a 2-story brick apartment building would not adversely impact the continuity and rhythm of the block.
3. Proposed demolition of buildings with unique or significant character important to a district, street, block or intersection will be evaluated for impact on the present integrity, rhythm, balance and density on the site, block, intersection or district.
Not applicable.
4. The elimination of uses will be considered; however, the fact that a present and original or historic use of a site does not conform to present zoning or land use requirements in no way shall require that such a nonconforming use to be eliminated.
Not applicable.
- F. Proposed Subsequent Construction. Notwithstanding the provisions of any ordinance to the contrary, the Office shall evaluate proposed subsequent construction on the site of proposed demolition... based upon whether:
 1. The applicant has demonstrated site control by ownership or an option contract;
Complies.
 2. The proposed construction would equal or exceed the contribution of the structure to the integrity of the existing streetscape and block face....
Complies. The proposed building is compatible with the neighborhood context, and the existing structure has been greatly altered from its original historic appearance.
 3. The proposed construction will be architecturally compatible with the existing block face as to building setbacks, scale, articulation and rhythm, overall architectural character and general use of exterior materials or colors;
Complies. The proposed construction would be a 2-story, 3-bay, 5-family building, with a red brick front façade. The original submission to the Cultural Resources Office was a strongly contemporary design that would not have been contextual with the historic resources of the Oak Hill Historic District. Considering suggestions made by the CRO staff, the architect has altered his first design, incorporating components of an adjacent 4-family building at 4339 Connecticut. Constructed in 1924, 4339 is a Craftsman-influenced design with a center entry bay containing a single-leaf door with sidelights, and a stair window above. The center bay is flanked at each story by paired doublehung windows, and the facade culminates in a false mansard with projecting eaves.
The new proposal is similar in scale, materials, entry design and fenestration pattern to 4339 Connecticut, and presents a front façade with center entry and sidelights beneath a projecting awning. The bay above is recessed and contains a large fixed window. Flanking bays have windows that are contemporary in detail,

but compatible in placement and proportion to those of the neighboring building, and the front parapet now ends in a simple projecting cornice.

4. The proposed use complies with current zoning requirements;
Complies.

5. The proposed new construction would commence within twelve (12) months from the application date.

Yes, construction would commence within 12 months.

G. Commonly Controlled Property. If a demolition application concerns property adjoining occupied property and if common control of both properties is documented, favorable consideration will generally be given to appropriate reuse proposals. Appropriate uses shall include those allowed under the current zoning classification, reuse for expansion of an existing conforming, commercial or industrial use or a use consistent with a presently conforming, adjoining use group. Potential for substantial expansion of an existing adjacent commercial use will be given due consideration.

Not applicable.

H. Accessory Structures. Accessory structures (garages, sheds, etc.) and ancillary structures will be processed for immediate resolution. Proposed demolition of frame garages or accessory structures internal to commercial or industrial sites will, in most cases, be approved unless that structure demonstrates high significance under the other criteria listed herein, which shall be expressly noted.

There is a non-contributing garage on the property that would also be demolished.

PRELIMINARY FINDINGS AND CONCLUSION:

The Cultural Resources Office consideration of the criteria for demolition in the Preservation Review District Ordinance led to these preliminary findings:

- 4333 Connecticut Street is located in the Oak Hill National Register District and a Preservation Review District.
- The building is considered to be “Contributing” in that it could contribute to a possible local historic district.
- The building is Sound within the definition of the ordinance, which means that visible portions of exterior walls and roofs appear capable of continuing to support their current loads for six months or more.
- The proposed subsequent development would be a 2-story, 5-unit brick apartment building that the Cultural Resources Office has determined would be compatible with the existing resources of the Oak Hill National Register District and therefore would have no adverse effect upon the district’s historic character.

Based on the Preliminary findings, the Cultural Resources Office recommends that the Preservation Board grant Preliminary Approval of the demolition and new construction, with the

stipulation that final drawings, exterior materials and colors be reviewed and approved by the Cultural Resources Office.



4333 CONNECTICUT WITH 4339 TO THE LEFT



WEST ELEVATION



EAST ELEVATION



4333 CONNECTICUT LOOKNG SOUTHEAST



4333 CONNECTICUT GARAGE LOOKING SOUTHWEST



4300 BLOCK OF CONNECTICUT



CONTEXT EAST ON CONNECTICUT



CONTEXT LOOKING WEST ON CONNECTICUT—4333 SHOWN CIRCLED



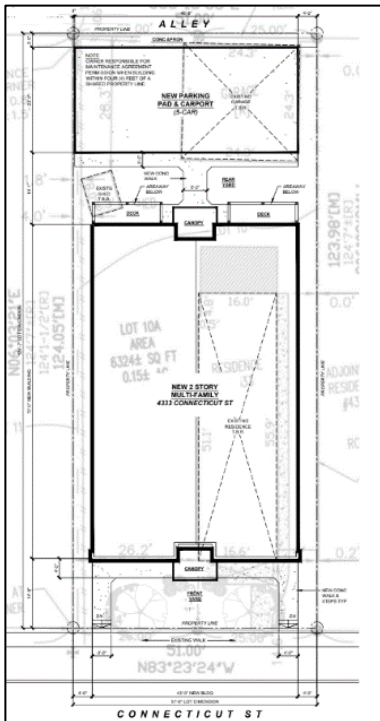
CONTEXT OPPOSITE LOOKING SOUTHWEST



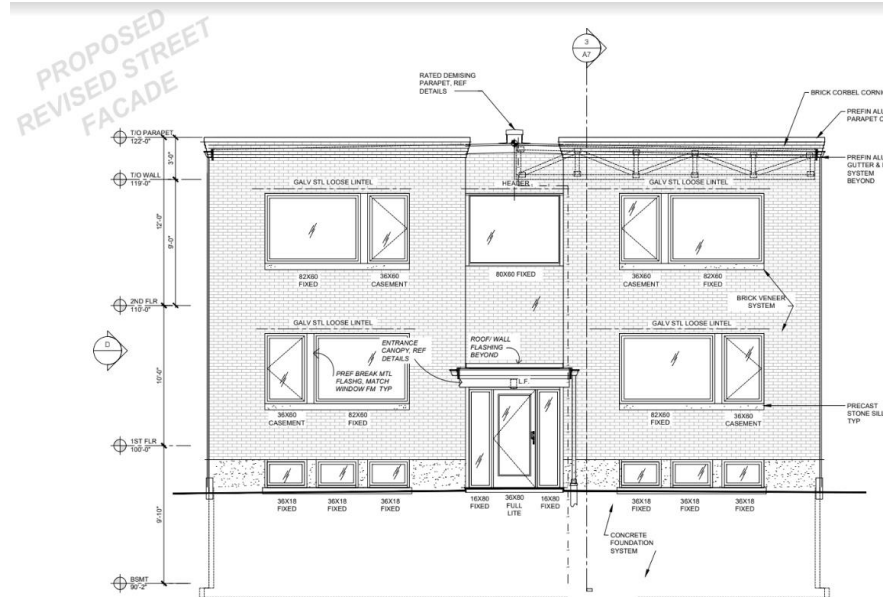
CONTEXT ACROSS THE STREET LOOKING SOUTH



CONTEXT ACROSS THE STREET LOOKING SOUTHEAST



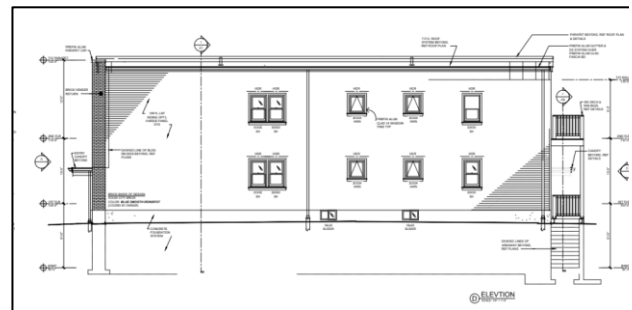
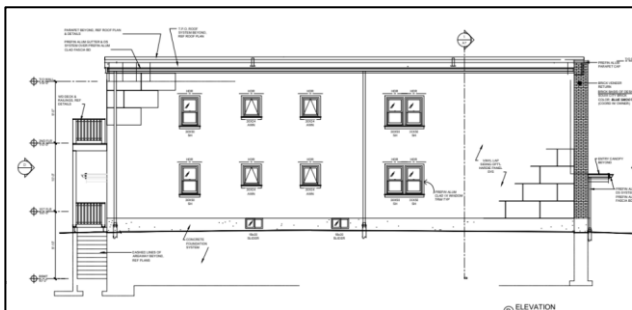
SITE PLAN



REVISED FRONT ELEVATION

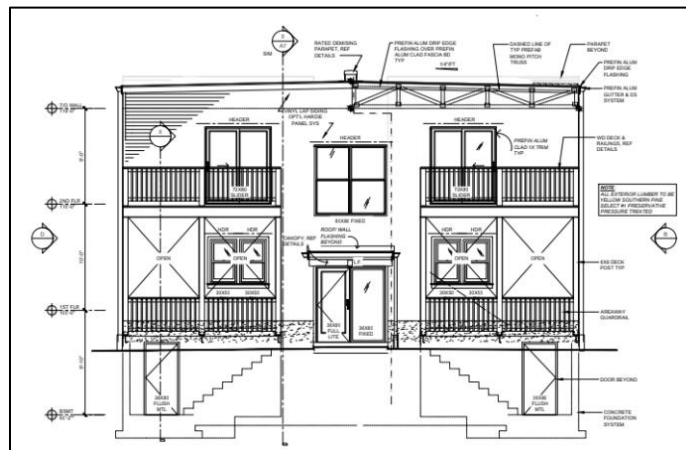


STREET ELEVATION SHOWING PROPOSED BUILDING WITH 4449 CONNECTICUT TO LEFT

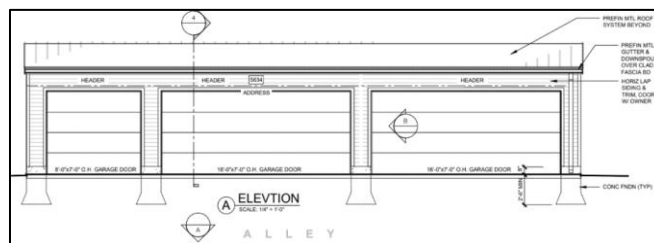


WEST ELEVATION

EAST ELEVATION



REAR ELEVATION



CARPOT ALLEY ELEVATION

C.

DATE: December 18, 2023
 ADDRESS: 490 N. Kingshighway Boulevard
 ITEM: Construct sidewalks and other right-of-way improvements
 JURISDICTION: Encroachment/Central West End Certified Local Historic District
 NEIGHBORHOOD: Central West End
 WARD: 9
 STAFF: Jan Cameron



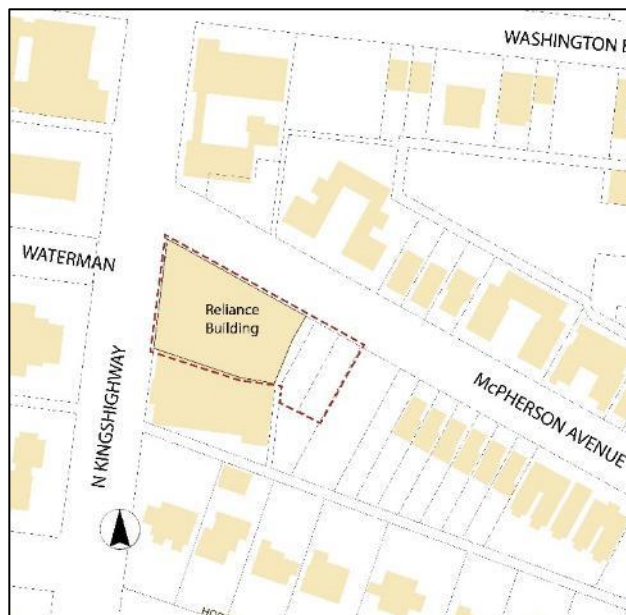
RELIANCE BUILDING LOOKING SOUTHEAST FROM MCPHERSON AND N. KINGSHIGHWAY

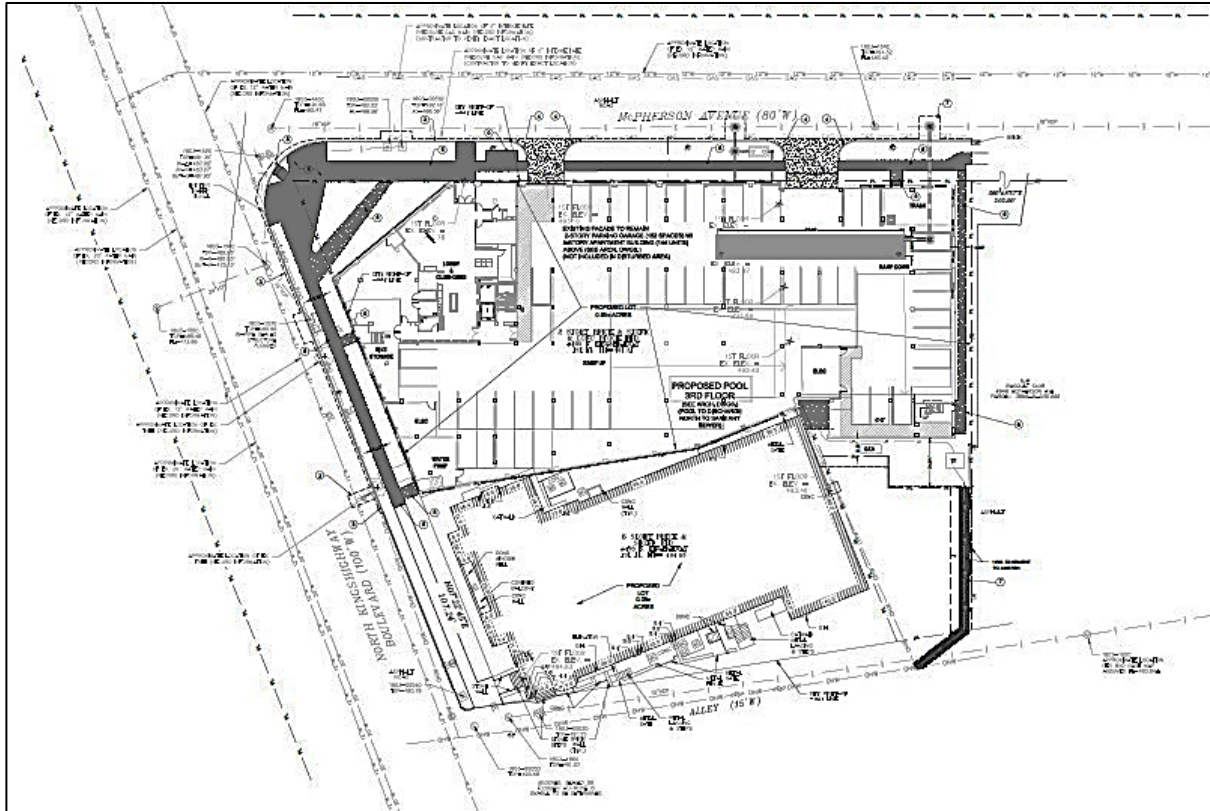
THE PROJECT:

Right-of-way improvements: sidewalks, curb cuts, accessibility ramp, and bike rack. Work is part of the rehabilitation of the Reliance building, which was granted Preliminary Approval by the Preservation Board at its March 28, 2022 meeting.

STAFF RECOMMENDATION:

Staff proposes the Preservation Board recommend to the Board of Public Service the approval of the permit for the intended work, pursuant to ordinance 64689, Section 51, as codified at 24.24.010 of the Revised Code of the City of St. Louis.





SITE PLAN SHOWING PROPOSED CONSTRUCTION



AERIAL VIEW OF SITE



**LOOKING NORTH ALONG N. KINGSHIGHWAY
RELIANCE BUILDING AT RIGHT**



**FRONT COURTYARD AT INTERSECTION OF
N. KINGSHIGHWAY & McPHERSON**



**SIDEWALK ALONG McPHERSON
RELIANCE BUILDING AT LEFT**



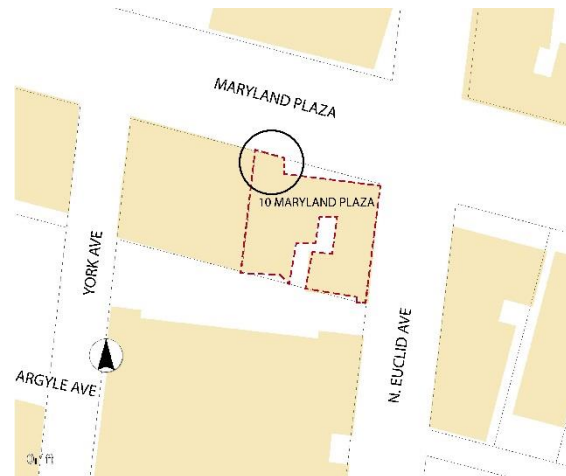
**LOOKING WEST ALONG McPHERSON TO KINGSHIGHWAY
RELIANCE BUILDING AT LEFT**

D.

DATE: December 18, 2023
 ADDRESS: 10 Maryland Plaza
 ITEM: Appeal of Director's Denial to alter storefront
 JURISDICTION: Central West End Certified Local Historic District
 NEIGHBORHOOD: Central West End
 WARD: 10
 OWNER: Meadowbrook Realty Group LLC
 APPLICANT: Burnham Nationwide; Kevin McKenna
 STAFF: Andrea Gagen



10 MARYLAND PLAZA



RECOMMENDATION:

That the Preservation Board uphold the Director's Denial as the storefront alterations do not comply with the Central West End Certified Local Historic District Standards.

THE PROJECT:

The project is in the Central West End Certified Local Historic District where the Cultural Resources Office/Preservation Board has jurisdiction over exterior alterations. The Cultural Resources Office received a permit application to alter storefronts at 10 Maryland Plaza.

The project calls for renovation of two existing storefronts on the north and east facades of this Classic Revival building, constructed in 1916. It proposes to entirely replace the historic tripartite divisions of the storefronts, removing original multi-light transoms and existing paneled bulkheads and replacing them with expansive shop windows and signboards that would carry large interior-lit signs. Tile would cover the transom areas as well as the corner post.

As the Central West End Historic District Standards clearly prohibit the proposed design, the Cultural Resources Office Director denied the permit application and the applicant has appealed that denial. The matter is now being brought to the Preservation Board.

RELEVANT LEGISLATION:

Excerpt from Ordinance #69423, Central West End Certified Local Historic District:

9) Storefronts

The area of the first floor historically enclosed with a storefront shall not be expanded or reduced. When original and historic storefront fabric is present, it shall be retained and restored or rehabilitated....

Does not comply. The proposed storefront would remove the original transoms, shop windows and existing bulkheads which, although not original, are of a paneled design that is appropriate to the historic building. The proposed large shop windows would nearly to grade, and the transom area covered with light colored tile to serve as signboards. The original corner post would remain but also be covered with tile.

The proposed design, which would destroy the traditional tripartite divisions of the historic storefronts and would not comport with the classical detailing of the building itself, would have a significant adverse effect upon the historic and architectural character of the building.

- a) If part of a building with other intact historic storefronts, it shall respect the scale, proportions, pattern, color, details and material of those historic storefronts; or

Does not comply. The large openings and los

- b) If part of a building with no remaining historic storefronts, it shall be compatible with the rest of the building in scale, design, materials, color and texture and may be of contemporary design.

Not applicable.

Prefabricated commercial storefront framing components, tinted glazing, and clear-finish aluminum are not appropriate for infill storefronts of historic buildings in the historic district.

Does not comply. The proposed components and sheathing are not appropriate materials for a historic storefront.

PRELIMINARY FINDINGS AND CONCLUSION:

The Cultural Resources Office's consideration of the Central West End Certified Local Historic District standards and the specific criteria for storefronts led to these preliminary findings:

- 10 Maryland Plaza is located in the Central West End Local Historic District.
- The proposed storefront design would entirely remove the historic storefront and replace it with a modern storefront design
- The proposed design does not comply with the Central West End Historic District Standards and is incompatible in style and materials with the Classic Revival character of the building.
- The Cultural Resources Office to date has not received comment from the Ward Alderman or the Central West End Association regarding the proposal.

Based on these preliminary findings, the Cultural Resources Office recommends that the Preservation Board uphold the Director's Denial as the proposed storefront does not comply with the Central West End Local Historic District Standards.



EXISTING STOREFRONTS AT 10 MARYLAND PLAZA



RENDERING OF PROPOSED STOREFRONT ALTERATIONS



RENDERING OF PROPOSED EAST STOREFRONT WITH NEW ENTRY



PROPOSED COLORS



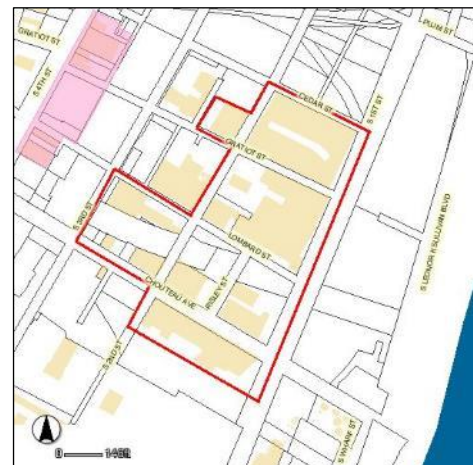
RENDERING OF PROPOSED STOREFRONTS FROM CORNER

E.

DATE: December 18, 2023
 ADDRESS: Cedar Street, S. 1st Street, Chouteau Avenue, S. 3rd Street
 ITEM: Nomination to the National Register of Chouteau's Landing Historic District
 JURISDICTION: Required Certified Local Government Review of Pending National Register Nominations
 NEIGHBORHOOD: Downtown
 WARD: 8
 OWNER: Various
 PREPARER: Molly Maguire & Rachel Consolloy/Rosin Preservation LLC
 STAFF: Andrea Gagen



CHOUTEAU'S LANDING – S. 1st STREET



RECOMMENDATION:

That the Preservation Board direct the staff to prepare a report for the State Historic Preservation Office that the property meets the requirements of National Register Criteria A for Industry.

RELEVANT LEGISLATION:

Section 101(c)(2)(A) of the National Historic Preservation Act of 1996 (amended)

Before a property within the jurisdiction of the certified local government may be considered by the State to be nominated to the Secretary for inclusion on the National Register, the State Historic Preservation Officer shall notify the owner, the applicable chief local elected official and the local historic preservation commission. The commission, after reasonable opportunity for public comment, shall prepare a report as to whether or not such property, in its opinion, meets the criteria of the National Register.

PROPERTY SUMMARY:

The Chouteau's Landing Historic District, located just south of the Gateway Arch National Park, is being nominated under Criterion A in the area of Industry. Constructed between c. 1885 and c. 1960, the area includes 19 contributing buildings, 1 non-contributing building and 4 contributing structures. The 15.5-acre industrial area is an outstanding and intact collection of late 19th century and early 20th century industrial resources. Its mills, manufacturing facilities, and warehouses represent historic patterns of industrial growth in St. Louis, and the transition from river to rail and truck as the primary means of transporting goods and raw materials. The period of significance begins with the estimated date of the earliest extant building, c. 1885, and ends with the completion of the I-55 elevated roadway on the west side of the district in 1956.

